

Carl Harris Little League Complex Mini Master Site Plan



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Prepared For
City of Hermitage and
Hermitage Little League Association

Prepared By:
Environmental Planning & Design, LLC

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Acknowledgements

The Carl Harris Little League Complex Mini Master Site Plan is the result of input and guidance from several City of Hermitage and Hermitage Little League stakeholders.

The participation of the following individuals and groups has made this plan possible:

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I. Project Overview

A. Purpose

The Carl Harris Little League Complex Mini Master Site Plan illustrates the long-term vision that key stakeholders desire for the complex's upkeep renovation and upgrade as well as to source the day to day needs as well as undue pertinent maintenance costs of the Little League Association. Based upon stakeholder objectives, this facility should be improved to serve as a regional Little League destination that hosts sanctioned Little League tournaments. The character, accessibility and relationship of proposed complex improvements have been designed to optimize the site's potential opportunities and respect its existing features and challenges.

B. Need for a Mini Master Site Plan

Located approximately two and one quarter miles from downtown the main commercial district of Hermitage (intersection of PA Route 18 and U.S. Route 62), the Carl Harris Little League Complex is a heavily used facility that services the entire Shenango Valley. It is located immediately south of/adjacent to the City owned Hermitage Athletic Complex.

C. Goals of the Planning Process

In response to the complex's potential opportunities and challenges, goals were formulated to guide the project's direction. As part of creating a Mini Master Site Plan for the Complex, the City and Little League desires to:

1. Upgrade this facility as a sanctioned Little League facility;
2. Make the facility universally accessible to all potential users;
3. Develop a facility that can be maintained without unduly burdening the Associations members and fund-raising capacity.

D. Working to Create the Mini Master Site Plan

Early on in the planning process, the City, Little League and its consultants determined that for this facility, given the limited resources and the focus on a specific list of issues, a Mini Master Site Plan would be the most appropriate type of study to complete. A traditional Master Site Plan is a more in depth study that was not necessary in this instance. The specific list of issues to be addressed at the Complex was already known to need more study at the onset of this planning exercise. Also, a standard Master Site Plan typically focuses on expansion or replacement of particular elements within a place. The Little League did not wish to expand their facilities, but wanted to improve them from their current condition.

Between July and December 2013, key stakeholders have participated in shaping the Mini Master Site Plan's design and recommendations. The Mini Master Site Plan was initiated during the project's kick-off meeting between City Staff; Little League Staff and Board Members; and recreation planning consultant Environmental Planning and Design, LLC (EPD). The primary purpose of the initial meeting was to review opportunities and challenges related to:

1. Understanding the site's existing conditions;
2. Establishing a potential "wish list" of improvements from the City and Little League; and
3. Discussing phasing as related to funding of potential projects.

Stakeholders and the planning consultants conversed during the above mentioned timeframe as the consultants developed the Mini Master Site Plan. At the project's second meeting, EPD presented a draft Mini Master Site Plan and related costs to the Stakeholder group. The plan explored improvements to the existing fields and infrastructure improvements. Based upon the Stakeholders' comments, a preferred mini master site plan was completed and presented to the stakeholders for their use. The mini master site plan, serves as the foundation of this report, incorporates the preferred field and infrastructure improvements with respect to the site's existing physical opportunities and constraints.

II. Mini Master Site Plan

A. Existing Site Character

The Carl Harris Little League Complex site is bordered to the south by Virginia Road, the property that includes the complex is bordered on the north by the Hermitage Athletic Complex. This approximate 12-acre property dedicates approximately 90% to park/recreation use and associated development.

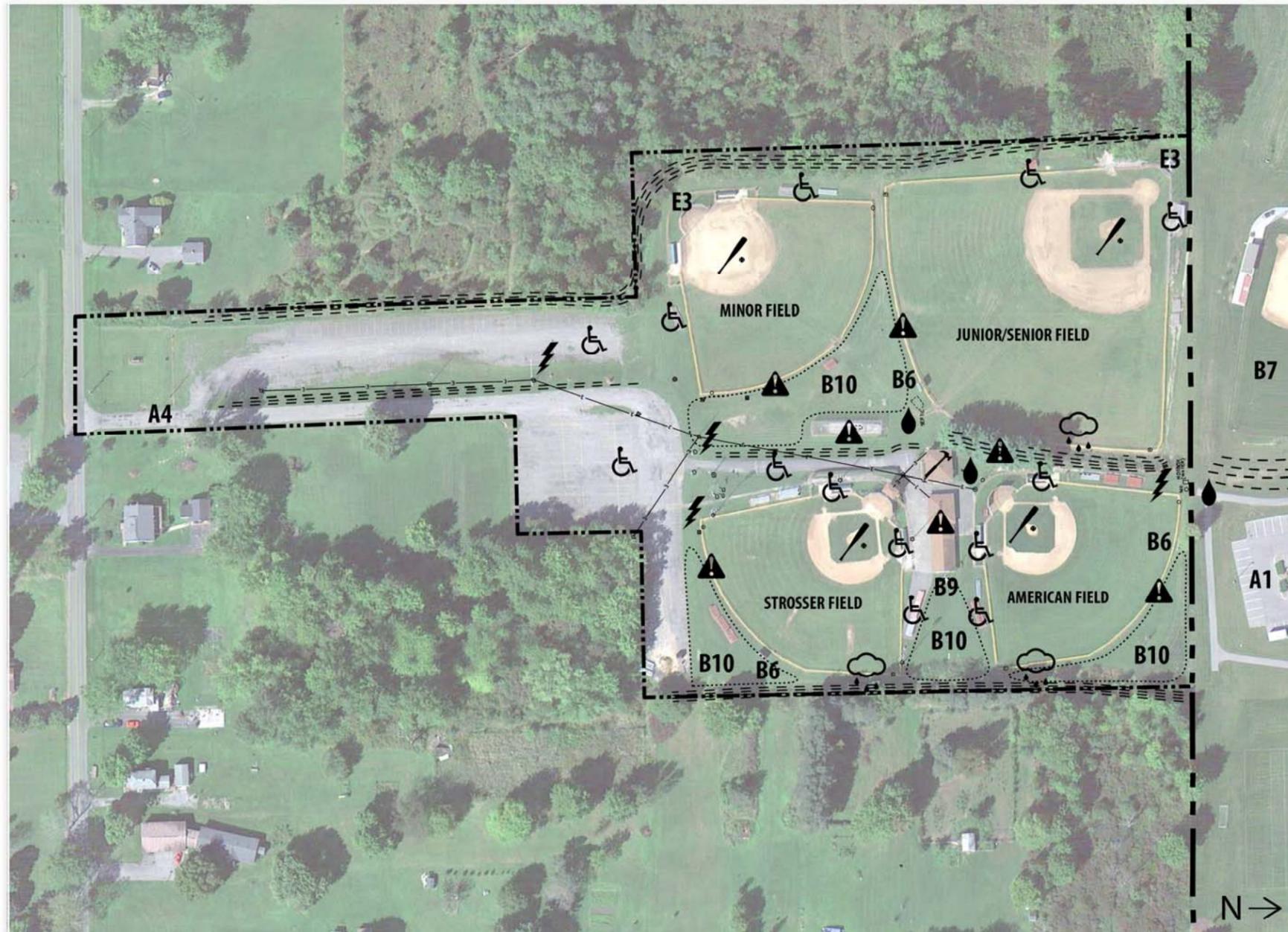
The Carl Harris Little League Complex's existing facilities consist of four (4) ball fields and related facilities including a concession building, a storage/meeting room building, one batting cage, several bleachers at each field and approximately 185 parking spaces. The remaining portions of the Complex are a combination of both open grassy slopes and woodlands.

The most significant issue or deficiency at the existing facility is accessibility. There is not an accessible path between the restrooms, fields (dugouts, etc.), parking or bleachers. Some of the dugouts are below grade making access for physically challenged players, coaches, umpires and other officials difficult, if not impossible. The second most significant issue is safety. The fencing around Strosser Field needs to be moved to increase distance from actual field area by approximately twenty (20) foot to limit the possibility of any injuries by foul or stray balls.

Utility service is another significant issue at the Complex. Currently, the site is served by well water and septic. There is available public water and sewer along the northern edge of the site at the Hermitage Athletic Complex. The facilities electric service availability is also maximized without the addition of additional transformers and wiring. Current power at facility is 2-phase. There is existing 3-phase power available along Virginia Road, but it is a few hundred yards away from the central core of the Complex. Additionally, drainage in the outfields of Strosser, Junior/Senior and American Fields is another issue that needs to be addressed. Refer to page 5 for Site Visit Observations.

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OBSERVATIONS / IMPORTANT CONDITIONS

OBSERVATIONS		CONDITIONS	
	ADA Access		Electrical Utility
	Ballfield Maintenance		Water/Sewer Utility
	Drainage / Wet Areas		Building / Structure
	Safety		Slope Area
			Observation Item
			Drain Basin
			Light Post
			Electrical Line
			Property Line
			Underutilized Area

SITE VISIT OBSERVATIONS (8/21/2013)

A. PARKING

1. The Hermitage Athletic Complex (HAC) parking area (137 spaces) is used during Little League tournaments/special events.
2. The lower Little League parking area (97 spaces) does not have hard edges and is not uniformly paved with a hard stable surface material.
3. The 90 parking space Little League main parking area is also in need of an update because the paving is degraded and has numerous grading issues.
4. A chain-link swing gate is located at the entrance to the parking areas. Frequency of use of this item is not known.

B. FIELDS

1. Fences at all fields are older and worn showing conditions such as mesh bending and crimping as well as oxidation on the mesh, posts and frames. Both the Strosser and American Fields could potentially be replaced first. The American Field fence shows significant wear and the issue with the Strosser Field fence is its proximity to the field. The on deck area and dugout area appear to be cramped. Some backstops are also in need of replacement. They should all be evaluated, starting with the Junior/Senior Field backstop. The backstops exude the same worn characteristics as the fence including oxidation and also have areas of mesh missing, such as at the American Field.
2. An existing Batting Cage is located between the Junior/Senior Field and Minor Field. It appears old and worn showing characteristics of severe oxidation.
3. Infields need cleaned up as they are not edged or leveled as a general observation. It was also noted that there was a significant amount of vegetation growing in the infield of the Junior/Senior Field. This would include clover, crabgrass, etc.
4. Drainage is an issue at the Junior/Senior Field outfield near the existing evergreen trees. Grading of the existing low spots needs to be addressed.
5. The existing evergreen trees are fairly mature and pose a slight chance for falling down as most evergreens have shallow roots. They are also messy because they shed needles as well. It may be in the Little Leagues best interest to remove them all at once as a group as opposed to potentially having to remove individual trees with separate tree removal mobilization costs. The slope the evergreens are located on should be addressed for safety and improved to potentially include a wall with rail or slope stabilization planting other than lawn seeding. Issue should be studied further.
6. Scoreboards are located at the Junior/Senior Field, American Field and Strosser Field. Operation was not witnessed during site visit, but they appear to be functioning.
7. Location of the Hermitage Athletic Complex ballfield.
8. Location of three (3) welcome sign and three (3) flagpoles
9. Location of flagpole on concrete pad
10. Location of large open grass area that appears to be under utilized

C. UTILITIES

1. Electric lines run above ground from Virginia Road. Electric is believed to be single phase. Electric appears to be sufficient for the current needs, however if upgrades are desired, such as lighting an additional field, it is believed that it is possible, however a transformer and wiring upgrade would need to be done. However, it would be the best expansion option as the nearest available three phase electric is a considerable distance down Virginia Road. In addition, the Little League Association needs to determine future additional power upgrades desired, such as lighting any additional fields, upgrades to the Concession Building or adding any additional press boxes.
2. Existing field lighting is only provided at Strosser Field. It is thought to be manufactured by Musco. Concrete in light pole bases have small chunks broken from them. Some of these may be determined to need replaced.
3. There are 2 cobra-head lights (1 pointed at each lot) located in the parking areas. Their operation was not witnessed and they do not appear to sufficiently light the parking area. This would be another item to consider when determining desired power upgrades.
4. Well water currently serves the site. The wellhead is north of the Conference Room/Storage Building. The Little League Association said that it is adequate for typical use, but the well volume/pressure is lowered during tournaments/special events. Because of proximity, accessing public water by extending the line from the hotbox located on the HAC property line between the Junior/Senior and American Fields. A meter would most likely need to be set after the line extension as well as a separate back-flow preventer. Distance to the Concession Building is approximately 270 linear feet.
5. A septic area is located between the Junior/Senior Field and the Conference Room/Storage Building. The Little League Association said that it is not located in a good area, emitting a smell during tournaments because of the greater amount of use at those times. Because of proximity, accessing public sewer would make the most sense by extending the line from the manhole located on the HAC property line between the Junior/Senior and American Fields. A valve would need to be set on the line presumably near the property line between HAC and the Little League parcel. Distance to the Concession Building is approximately 270 linear feet.

D. ADA CONFORMANCE

1. Bleachers and the pathways leading to them in general are not ADA accessible because of grade obstacles or width.
2. Dugouts are not accessible. Three (3) dugouts are below grade and incorporate steps to access and one (1) of which is filled with gravel to grade (Minor Field). The dugouts at the Junior/Senior Field are above grade, but there are no accessible pathways to the dugouts.
3. There are only 2 signed/not striped ADA spaces in parking lot. This is not adequate as there are +/- 184 parking spaces in the lot. The ADA Guidelines state that there should be 7 ADA spaces for the 184 total spaces that are in the lot and the ADA spaces should have a sign and be striped properly with the symbol of accessibility.
4. There is no accessible route between the parking and any of the 4 fields. An adequately sized and sloped path should be provided to at least one (1) field in order to conform with the intent of the ADA Guidelines.
5. Bathrooms in the Concession Building are not accessible. Would need updated to achieve ADA conformance.

E. BUILDINGS

1. There is a small fryer located in the Concession Building. Existing fire suppression should be evaluated for conformance to codes. Additionally, fire suppression will need evaluated further if the facility is updated. The Eastern portion is lightly colored with picnic tables and is in fair condition.
2. The Conference Room/Storage Building appears to have some water damage to the concrete block walls in the lower level garage area. Additionally, it appears to need painted and decluttered to spruce it up.
3. Concrete block storage structures are located at the Junior /Senior Field and Minor Field. The exterior appeared to be in good condition. Strosser Field has an indoor storage area in the lower level of the Press Box. The Strosser Press Box also appeared to be in good condition.

B. Mini Master Site Plan Program

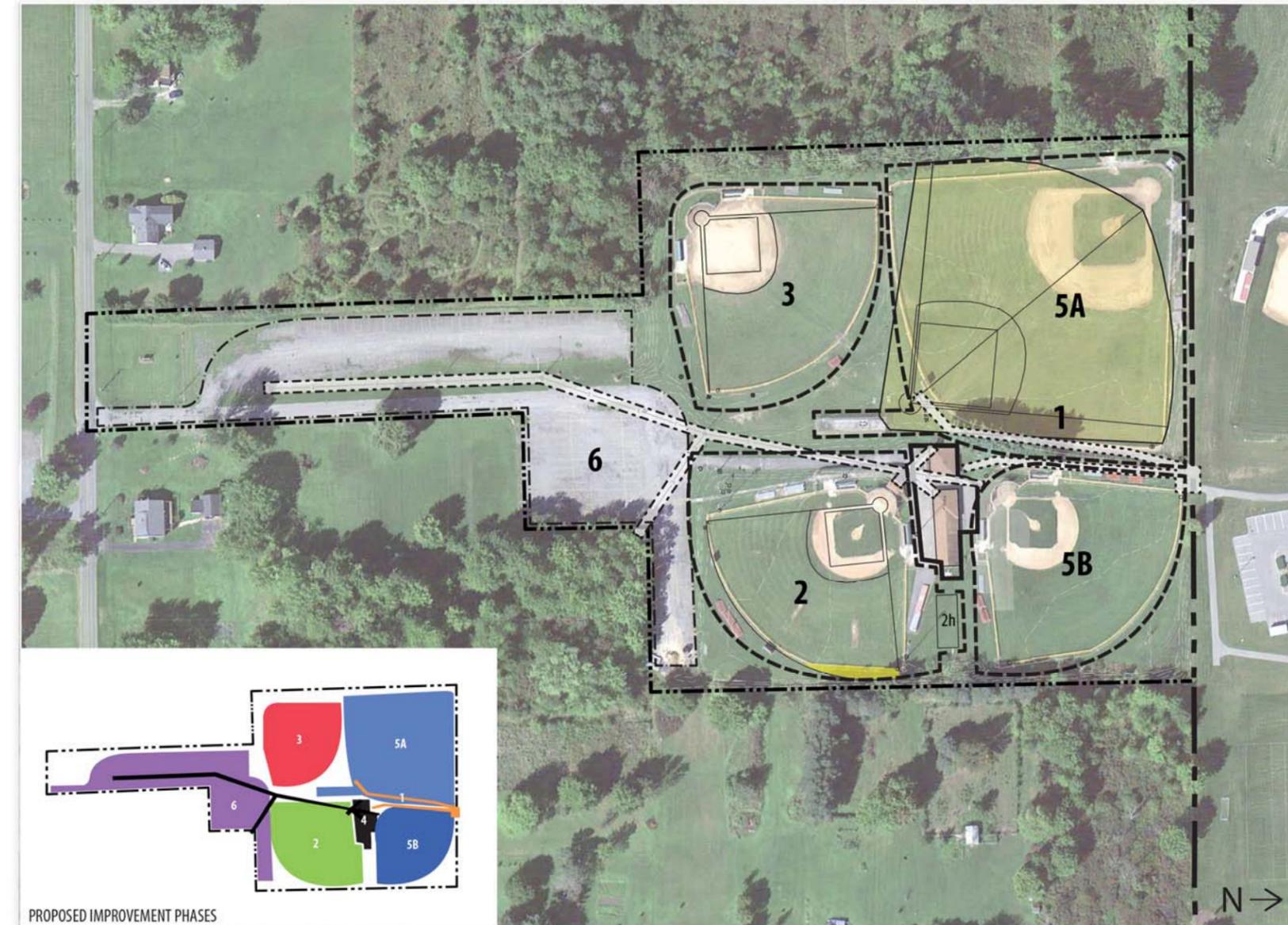
The Carl Harris Little League Complex Mini Master Site Plan builds upon the character and features of the existing fields while making them more accessible to all potential users. The program is a byproduct of applicable codes and guidelines, the City of Hermitage's wish list and Hermitage Little League's wish list.

The facility's overall design program includes:

1. A proposed 2,700 square foot Concession Building with meeting room
2. A proposed 2-story 2,200 square foot Storage/Utility Building containing ADA accessible male/female restrooms on the top floor and an ADA accessible family restroom located on the lower level.
3. Updating the dugouts throughout the facility by replacing any below grade dugouts with ADA accessible at-grade dugouts.
4. Replacing of all field fencing, gates and backstops.
5. Replacing bleachers at all fields with an ADA accessible standard.
6. Provide new ADA accessible pavement to all fields and between the bleachers, dugouts and fields.
7. Install new potable water and sewer line extension from the manhole at the Hermitage Athletic Complex to the existing connections that extend from the well and septic on site.
8. Upgrade/update electric service to the facility.
9. Provide new field lighting at the Junior/Senior Field.
10. Review maintenance operations to ensure that all of the proposed upgrades are able to be properly maintained.

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LEGEND

- GENERAL BOUNDARY OF FIELD IMPROVEMENTS
- BUILDING / INFRASTRUCTURE IMPROVEMENTS (ELECTRICAL)
- EARLY INFRASTRUCTURE (WATER AND SEWER)
- BUILDING / INFRASTRUCTURE IMPROVEMENTS (BUILDING UPGRADES)
- PARKING LOT IMPROVEMENTS
- PROPERTY LINE

MINI MASTER PLAN PROJECTS

- 1 EARLY INFRASTRUCTURE IMPROVEMENTS**
 - a. Install potable water from Hermitage Athletic Complex to the existing Concession Building area
 - b. Install sanitary sewer from Hermitage Athletic Complex to the existing Concession Building area
 - c. Connect existing water and sanitary sewer distribution systems to the newly installed public systems. Also disconnect and cap existing septic field and wellhead. Wellhead to be used for field irrigation in the future.
- 2 STROSSER FIELD**
 - a. Replace (2) existing below grade dugouts with (2) new at-grade dugouts.
 - b. Replace existing fencing with 4' height (outfield) and 8' height (infield), gates (2 single and 1 double swing) and (2) foul poles.
 - c. Replace existing backstop.
 - d. Edge and level infield.
 - e. Replace bleachers with an ADA approved standard to be used throughout the facility.
 - f. Provide ADA approved pavement to the bleachers as well as to the dugouts and field.
 - g. Make revisions to the existing electric service to make all fields and buildings usable.
 - h. Locate a new batting cage in the area between Strosser and American Field.
 - i. Sign and stripe appropriate number of accessible parking spaces (7) in Little League lot.
 - j. Provide ADA accessible route from the parking lot to the field.
 - k. Add (1) Pedestrian Light Fixture along ADA accessible route.
 - l. Repair areas with drainage issues in the outfield.
 - m. Extend outfield; includes fill and seeding
- 3 MINOR FIELD**
 - a. Replace (2) existing below grade dugouts with (2) new at-grade dugouts.
 - b. Replace existing fencing with 4' height (outfield) and 8' height (infield), gates (2 single and 1 double swing) and (2) foul poles.
 - c. Replace existing backstop. Match Hermitage Athletic Complex's backstops.
 - d. Edge and level infield.
 - e. Replace bleachers with an ADA approved standard to be used throughout the facility.
 - f. Provide ADA approved pavement to the bleachers as well as to the dugouts and field.
- 4 BUILDING / INFRASTRUCTURE IMPROVEMENTS**
 - a. Replace existing Concession Building, with the restroom function moved to the new Storage/Utility Building. Include designated space for a Meeting Room in the Concession Building as well.
 - b. Replace existing Storage Building with a 2 story Utility/Storage Building with ADA accessible male/female restrooms located on the top level and an ADA accessible family restroom located on the lower level.
 - c. Upgrade/update current electric service to the Little League Facility. Improvement would adequately serve current services and add on some new services, while remaining 2 phase (not updating to 3 phase).
 - d. Asphalt pavement around new buildings including ramp to connect upper and lower ramps.
- 5A JUNIOR/SENIOR FIELD**
 - a. Replace (2) existing below grade dugouts with (2) new at-grade dugouts.
 - b. Replace existing fencing with 4' height (outfield) and 8' height (infield), gates (2 single and 1 double swing) and (2) foul poles.
 - c. Replace existing backstop. Match Hermitage Athletic Complex's backstops.
 - d. Edge and level infield. Remove unwanted vegetation from outfield and replant grass as needed.
 - e. Replace bleachers with an ADA approved standard to be used throughout the facility.
 - f. Provide ADA approved pavement to the bleachers as well as to the dugouts and field.
 - g. Provide field lighting and any required electrical upgrades.
 - h. Repair areas with drainage issues near the outfield fence/warning track.
 - i. Replace existing batting cage. Sized for Colt League use with dirt floor.
 - j. Provide ADA access route to upper fields and Hermitage Athletic Complex.
 - k. Add (1) Pedestrian Light Fixture along ADA accessible route. Includes pole, luminaire and foundation.
- 5B AMERICAN FIELD**
 - a. Replace (2) existing below grade dugouts with (2) new at-grade dugouts.
 - b. Replace existing fencing with 4' height (outfield) and 8' height (infield), gates (2 single and 1 double swing) and (2) foul poles.
 - c. Replace existing backstop. Match Hermitage Athletic Complex's backstops.
 - d. Edge and level infield.
 - e. Replace bleachers with an ADA approved standard to be used throughout the facility.
 - f. Provide ADA approved pavement to the bleachers as well as to the dugouts and field.
 - g. Repair areas with drainage issues near the warning track.
- 6 PARKING LOT IMPROVEMENTS**
 - a. Repave existing parking area and entrance drive; re-stripe parking spaces and ADA accessible routes
 - b. Provide landscape buffer for parking area and entrance drive to conform with accessible city site development standards.
- 7 OTHER IMPROVEMENTS**
 - a. Upgrade the Electric Service at the Complex to 3 Phase (access along Virginia Road).
 - b. Add in-ground Irrigation System to fields. (Cost is per field).
 - c. Junior/Senior field reposition

C. Mini Master Site Plan Design

1. The Overall Concept (illustrated on page 9)

The Park can be accessed by vehicles from the south at the parking lot off of Virginia Road as well as by pedestrians from the Hermitage Athletic Complex to the North. Upon entering the complex, visitors can go to one of four fields including Strosser, Minor, Junior/Senior and American Fields.

STROSSER FIELD

Improvements at Strosser Field include replacing the existing below grade dugouts with at-grade dugouts for accessibility, replacing the fencing, gates and backstop increasing fenced area to enlarge the dugout area, extending the outfield to 200' on the left field side and other miscellaneous improvements such as edging/leveling the infield, replacing the bleachers and repairing the drainage issues in the outfield.

To ensure that the complex has, at minimum, one compliant field, we would also recommend signing and striping an appropriate number of parking spaces in the Complex's parking lot; providing an accessible route from the parking lot to the field with asphalt; and providing an ADA approved pavement, such as crushed limestone with stabilizer, between the field, bleachers and dugout.

The electrical service upgrades to Strosser could make buildings and amenities at the field more useable as well as adding a pedestrian light fixture along the accessible route. Finally, a new batting cage could be added between Strosser and American Fields sized for Colt League use with a dirt floor.

MINOR FIELD

Improvements at Minor Field include replacing the existing below grade dugouts with at-grade dugouts for accessibility; replacing the fencing, gates

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and backstop; and other miscellaneous Improvements such as edging/leveling the infield and replacing the bleachers.

To ensure compliance with the Americans with Disabilities Guidelines, we would also recommend providing an ADA approved pavement, such as crushed limestone with stabilizer, between the field, bleachers and dugouts.

JUNIOR/SENIOR FIELD

Improvements at Junior/Senior Field include replacing the fencing, gates and backstop and other miscellaneous Improvements such as edging/leveling the infield, replacing the bleachers and repairing the drainage issues near the outfield fence/warning track.

To ensure compliance with the Americans with Disabilities Guidelines, we would also recommend providing an ADA approved pavement, such as crushed limestone with stabilizer, between the field, bleachers and dugouts. A pedestrian light fixture should be provided along the ADA path also as part of the ADA improvements.

Junior/Senior Field would be the field that would benefit the most from field lighting, if that could be provided. In addition, electrical upgrades may need to be provided to utilize new field lights. Finally, the existing batting cage located between Junior/Senior and Minor Fields could be replaced with a cage sized for Colt League use with a dirt floor.

Junior/Senior Field could be re-oriented as a future project, rotating it 180 degrees so that the line from the pitcher's mound through home plate runs east northeast, which would repair the current incorrect solar orientation.

AMERICAN FIELD

Improvements at American Field could include replacing the existing below grade dugouts with at-grade dugouts for accessibility; replacing the fencing, gates and backstop; and other miscellaneous Improvements such as edging/leveling the infield and replacing the bleachers.

To ensure compliance with the Americans with Disabilities Guidelines, we would also recommend providing an ADA approved pavement, such as crushed limestone with stabilizer, between the field, bleachers and dugouts.

ALL FIELDS

At all fields, adding permanent in-ground irrigation could be explored, utilizing planned public water or water from the existing well.

2. Infrastructure Improvements

The Complex's Potential Utility Plan, identifies general locations where infrastructure improvements most likely should occur so that facilities incorporated into the Mini Master Site Plan can be supported. The proposed locations of improvements have been formulated in order to optimize the efficiency of existing utility corridors.

POTABLE WATER

Potable water should be extended to the existing well connection point via an existing public water line that could be accessed near the facility walk along the Hermitage Athletic Complex border. The new line would replace the well for water service.

SANITARY SEWER

Sanitary Sewer should be extended to the existing septic connection point via an existing public sewer line that could be accessed from a manhole near the

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facility walk along the Hermitage Athletic Complex border. The new line would replace the septic field for septic service

ELECTRIC

Update current single phase electric service to the Little League Facility. Improvement would adequately serve current services and add on some new services, while remaining single phase (not updating to 3 phase).

Other route would be replace existing single phase service with 3 phase service (to be accessed along Virginia Road.)

CONCESSION BUILDING

Replace existing Concession Building, with the restroom function moved to the new Storage/Utility Building. Include designated space for a Meeting Room in the Concession Building as well.

STORAGE/UTILITY BUILDING

Replace existing Storage Building with a 2 story Utility/Storage Building with ADA accessible male/female restrooms located on the top level and an ADA accessible family restroom located on the lower level. Building should be placed along hill to gain access to the lower level at grade while also accessing the upper level at grade as well.

PARKING LOT IMPROVEMENTS

Repave existing parking area and entrance drive including a new topcoat and striping for the existing areas that are paved and a full asphalt section excluding base material for the existing gravel areas. Provide landscape buffer for parking area and entrance drive including 2 trees, 10 large shrubs and 40 small shrubs for every 100 feet of parking/drive. Buffer is not provided where forest abuts parking edge.

3. Costs and Phasing

Based upon the type of Improvements that are proposed and discussions with the Stakeholder group, the Complex most likely should be implemented in a series of six phases. The strategic phasing approach is designed to optimize the Complex's use while implementing Improvements. Phasing is also designed so as to not preclude development in the future. The initial phase of the Complex's construction is anticipated to entail extending the potable water and sewer from the Hermitage Athletic Complex. Once this initial work is completed, individual fields can be improved. In between the field improvements will be the building improvements which will support the field.

An Initial Opinion of Probable Development Costs for park improvements has been prepared and is located below. All costs represent "ball park" costs and are in 2013 dollars. These figures will need to be adjusted to reflect changes in inflation or other construction trends as time progresses. Soft costs including contingencies, contractor mobilization, engineering, overhead and profit have also been included in these Costs.

All costs assume that construction work will be publicly bid. Consequently, actual development costs could be significantly reduced through the utilization of "donations" and volunteer work. A summary of anticipated probable development costs by phase is as follows:

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	Work Tasks	Total Cost
1	EARLY INFRASTRUCTURE IMPROVEMENTS	\$35,100
	a. Install potable water line from Hermitage Athletic Complex existing hotbox to the existing Concession Building area - (260) linear foot of 6" DIP.	\$8,200
	b. Install sanitary sewer line from Hermitage Athletic Complex existing manhole to the existing Concession Building area - (340) linear foot of PVC SDR-35 with 3 manholes.	\$11,900
	c. Connect existing water and sanitary sewer distribution systems to the newly installed public systems. Also disconnect and cap existing septic field and wellhead.	\$15,000
2	STROSSER FIELD	\$220,000
	a. Replace (2) existing below grade dugouts with (2) new at-grade dugouts. New dugouts to be 32' by 6' including a half height wall along back and 6' by 6' storage area matching Hermitage Athletic Complex's dugouts. Full height wall would add \$5,000 - \$10,000	\$35,000
	b. Replace existing fencing with 4' height (outfield) and 8' height (infield), gates (2 single and 1 double swing) and (2) foul poles. New location to be moved from existing fence location approximately 20 feet away from 1 st and 3 rd baseline thus increasing the size of on deck area. Includes plastic cap along top of fence.	\$39,000
	c. Replace existing backstop. Match Hermitage Athletic Complex's backstops.	\$11,500
	d. Edge and level infield.	\$5,600
	e. Replace bleachers with an ADA approved standard to be used throughout the facility. 3 Row x 21'L - "style" aluminum bleacher (7).	\$42,000
	f. Provide ADA approved pavement to the bleachers as well as to the dugouts and field. Crushed limestone with stabilizer and an aggregate base.	\$9,000
	g. Make revisions to the existing electric service to make all fields and buildings useable.	\$20,000
	h. Locate a new batting cage in the area between Strosser field and American Field. New cage sized for Colt League on four (4) inches of pea gravel with underdrain.	\$15,000
	i. Sign and stripe appropriate number of ADA spaces (7) in Little League lot.	\$2,500
	j. Provide ADA accessible route from the parking lot to the field. Assumes a 12' width asphalt path located at the bottom of slope generally in same area as current path.	\$13,000
	k. Add (1) Pedestrian Light Fixture along ADA accessible route. Includes pole, luminaire and foundation.	\$6,000
	l. Repair areas with drainage issues in the outfield.	\$6,400
	m. Extend outfield; Includes fill and seeding	\$15,000
3	MINOR FIELD	\$135,700
	a. Replace (2) existing below grade dugouts with (2) new at-grade dugouts. New dugouts to be 32' by 6' including a half height wall along back and 6' by 6' storage area matching Hermitage Athletic Complex's dugouts. Full height wall would add \$5,000 - \$10,000	\$35,000

MINI MASTER SITE PLAN

	Work Tasks	Total Cost
	b. Replace existing fencing with 4' height (outfield) and 8' height (infield), gates (2 single and 1 double swing) and (2) foul poles. Includes plastic cap along top of fence.	\$40,700
	c. Replace existing backstop. Match Hermitage Athletic Complex's backstops.	\$11,500
	d. Edge and level infield.	\$12,500
	e. Replace bleachers with an ADA approved standard to be used throughout the facility. 3 Row x 21'L - "style" aluminum bleacher (4).	\$24,000
	f. Provide ADA approved pavement to the bleachers as well as to the dugouts and field. Crushed limestone with stabilizer and an aggregate base.	\$12,000
4	BUILDING/INFRASTRUCTURE IMPROVEMENTS	\$474,000
	a. Replace existing Concession Building, with the restroom function moved to the new Storage/Utility Building. Include designated space for a Meeting Room in the Concession Building as well.	\$140,000
	b. Replace existing Storage Building with a 2 story Utility/Storage Building with ADA accessible male/female restrooms located on the top level and an ADA accessible family restroom located on the lower level. Building should be placed along hill to gain access to the lower level at grade while also accessing the upper level at grade as well.	\$144,000
	c. Upgrade/update current electric service to the Little League Facility. Improvement would adequately serve current services and add on some new services, while remaining single phase (not updating to 3 Phase).	\$160,000
	d. Asphalt pavement around new buildings including ramp to connect upper and lower ramps.	\$30,000
5A	JUNIOR/SENIOR FIELD	\$312,900
	a. Repaint two (2) existing at-grade dugouts.	\$1,000
	b. Replace existing fencing with 4' height (outfield) and 8' height (infield), gates (2 single and 1 double swing) and (2) foul poles. Includes plastic cap along top of fence.	\$50,100
	c. Replace existing backstop. Match Hermitage Athletic Complex's backstops.	\$11,500
	d. Edge and level infield. Remove unwanted vegetation from outfield and replant grass as needed.	\$10,000
	e. Replace bleachers with an ADA approved standard to be used throughout the facility. 3 Row x 21'L - "style" aluminum bleacher (7).	\$42,000
	f. Provide ADA approved pavement to the bleachers as well as to the dugouts and field. Crushed limestone with stabilizer and an aggregate base.	\$26,400
	g. Provide field lighting and any required electrical upgrades.	\$120,000
	h. Repair areas with drainage issues near the outfield fence/warning track. Repairs to potentially include an infiltration zone at the warning track.	\$16,500
	i. Replace existing batting cage. New cage sized for Colt League on four (4) inches of pea gravel with underdrain.	\$15,000
	j. Provide ADA access route to upper fields and Hermitage Athletic Complex. Assumes a 12' width asphalt path located at the top of slope generally in same area as current unpaved path.	\$14,400
	k. Add (1) Pedestrian Light Fixture along ADA accessible route. Includes pole, luminaire and foundation.	\$6,000

CARL HARRIS LITTLE LEAGUE COMPLEX

Work Tasks		Total Cost
5B AMERICAN FIELD		\$139,300
a.	Replace (2) existing below grade dugouts with (2) new at-grade dugouts. New dugouts to be 32' by 6' including a half height wall along back and 6' by 6' storage area matching Hermitage Athletic Complex's dugouts. Full height wall would add \$5,000 - \$10,000	\$35,000
b.	Replace existing fencing with 4' height (outfield) and 8' height (infield), gates (2 single and 1 double swing) and (2) foul poles. Includes plastic cap along top of fence.	\$36,200
c.	Replace existing backstop. Match Hermitage Athletic Complex's backstops.	\$11,500
d.	Edge and level infield.	\$5,300
e.	Replace bleachers with an ADA approved standard to be used throughout the facility. 3 Row x 21'L - "style" aluminum bleacher (6).	\$36,000
f.	Provide ADA approved pavement to the bleachers as well as to the dugouts and field. Crushed limestone with stabilizer and an aggregate base.	\$6,600
g.	Repair areas with drainage issues near the warning track. Repairs to potentially include an infiltration zone at the warning track.	\$8,700
6 PARKING LOT IMPROVEMENTS		\$316,700
a.	Repave existing parking area and entrance drive including a new topcoat and striping for the existing areas that are paved and a full asphalt section excluding base material for the existing gravel areas.	\$264,700
b.	Provide landscape buffer for parking area and entrance drive including 2 trees, 10 large shrubs and 40 small shrubs for every 100 feet of parking/drive. Buffer is not provided where forest abuts parking edge. Conform to city site development standards	\$52,000
7 OTHER IMPROVEMENTS		\$675,000
a.	Upgrade the Electric Service at the Complex to 3 Phase (access along Virginia Road).	\$500,000
b.	Add in-ground Irrigation System to fields. (Cost is per field).	\$25,000
c.	Junior/Senior field reposition	\$150,000
		\$2,308,700

Footnote: Dollar amounts (\$) are reflective of 2013 construction costs based on competitive public bids from the past 18 months. Prices were adjusted to reflect the current Consumer Price Index (CPI). Add 3%-4% annual increase in cost for a conservative estimate of future annual increases.

4. Future Considerations

Additional items that will require fiscal commitment include Complex maintenance activities and the Complex's on-going operating budget include considerations such as mowing, comfort station up-keep, athletic field seeding, as well as Concession Building management and maintenance.